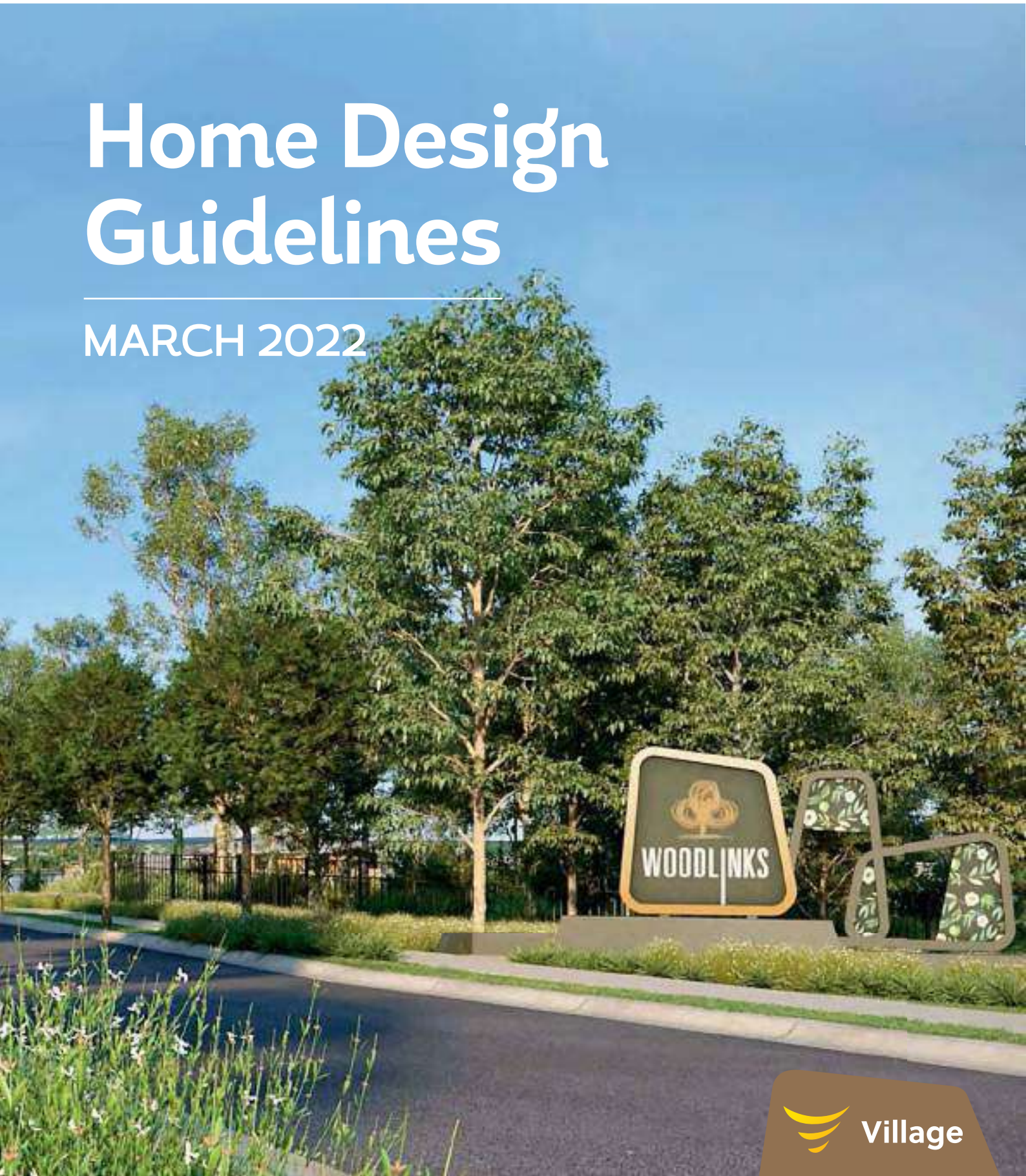




woodlinksvillage.com.au

Home Design Guidelines

MARCH 2022



Village



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About Woodlinks Village

Woodlinks Village is a contemporary residential development that enhances its ecologically significant surroundings and encourages an active and family orientated lifestyle.

Bordered by rehabilitated Koala habitat to the east and characterised by recreational open space and bushland, Woodlinks Village has been designed to capture the value of these features to ensure they endure for years to come.

These design guidelines have been prepared to protect the quality of Woodlinks Village, by establishing a high standard of built form and landscaping.

Introduction

These Design Guidelines have been prepared to guide the design of houses and landscaping throughout Woodlinks Village.

Compliance with the guidelines is important to maintain a minimum standard throughout the development, adding value to your property and contributing to a safe and cohesive environment.

Whilst all care has been taken to ensure that these Design Guidelines provide sufficient detail with regard to a compliant design for your home, it remains the responsibility of the Buyer to ensure compliance with all relevant legislation, planning approvals and local laws.

Design review process

Prior to commencing construction of your home, the Buyer is required to lodge plans to the Seller for review against these design guidelines. The plans must include all specifications for the construction to enable the Seller to ascertain compliance with the Design Guidelines, including landscaping. Typical plans should include:

Dimensioned site plans showing:

- Existing and proposed contours, and any cut / fill areas proposed
- Location, height, materials & colours of retaining walls
- Services connections and drainage
- Driveway location and finish
- Location and type of fencing
- Location and detail of all landscaping between the building line and any street frontage
- Materials of external walls and roofing
- Detail on eave overhang
- Colours and finish selection for:
 - All external walls
 - Roof & gutters
 - Front doors & windows
 - Letterbox

The Buyer must not undertake any construction prior to the Seller approving the plans. Plans should be submitted in PDF format to: woodlinks@villagebuilding.com.au

Maintenance and amenity

All properties must be maintained in good order. Particularly, all external areas that can be viewed from public vantage points must be kept in a neat and tidy condition.

The property owner shall ensure that all grass is maintained and kept weed free. Vehicles must not be parked on the verge, other than on driveways.

Should a property fail to meet these standards, a notice will be provided to the property owner advising of the maintenance work that will need to be carried out within 14 days. If the property owner fails to comply with the request, a contractor may be engaged to undertake the work, with the costs to be passed onto the property owner.



The Design Guidelines are made up of the following parts:

Part 1 – Plan of Development

Part 2 – Architectural Elements & Building Materials

Part 3 – Landscaping / Fencing / Retaining Walls / Driveways

PART 1 – Plan of Development

Woodlinks Village benefits from a Plan of Development that has been approved by Ipswich City Council and provides specific requirements for site planning. A full copy of the Plan of Development is provided at Appendix A. A summary of the key elements of the Plan of Development is as follows:

Height

The building height must not exceed 8.5m from natural ground level and be a maximum of 2 storeys.

Setbacks

Setbacks to all site boundaries are detailed in the Plan of Development Table at Appendix A.

The setbacks should be interpreted in conjunction with the Development Control Notes that accompany Table A, as well as the control diagrams.

Site Cover

Site cover for all lots (excluding Laneway Terrace Allotments) is a maximum of 60%.

Site cover for Laneway Terrace Allotments is a maximum of 80%.

Built to Boundary Walls

Built to boundary walls are mandatory where road frontage widths are less than 12.4m. They are to have a maximum length of 12m and a maximum height of 3.5m.

Irregular Shaped Lot Controls

The Plan of Development includes specific requirements for irregular shaped lots throughout Woodlinks, including requirements such as driveway location and nominated built to boundary walls.

Corner Lot Controls

The Plan of Development includes specific lot controls for setbacks on corner allotments.

The Plan of Development should be reviewed as part of the design process for building approval.

It remains the responsibility of the Buyer to ensure that any development complies with the requirements of the Plan of Development and / or the Ipswich City Council Planning Scheme.



PART 2 – Architectural Elements & Building Materials

1. General Design Attributes

All homes must exhibit architectural attributes that maintain a sense of quality and enhance the streetscape. Presentation should include a variety of colours and textures as well as environmentally sustainable features. Provided at Appendix C is the Smart & Sustainable Homes Fact Sheet that we recommend is reviewed in conjunction with the design of your home.

Only one (1) building / dwelling is permitted per property. No auxiliary dwellings / dual occupancies / duplexes will be approved.

2. Entry Point

Dwellings should have clearly defined entry point visible from the street. This may be achieved by using strong entry statements such as porticos or canopies. All homes must be provided with a quality letterbox that matches the aesthetics of the house. Single pole 'off the shelf' letterboxes will not be accepted.

3. External Walls & Finishes

All elevations adjacent to public areas must comprise a variety of building materials, including:

- Rendered brickwork (bagged or painted brickwork will not be accepted);
- Facebrick, as a feature where used in conjunction with other materials and not exceeding 50% of the total facade area;
- Timber battens and panels as feature elements;
- Cladding materials, with painted or stained finishes.

4. Colours

External colours must be selected to harmonise with a home's architectural elements and to reflect the intent of the development's integration with its natural setting. A pre-approved colour palette has been prepared and is provided at Appendix B, and includes colours for painted walls, roof tiles, facebrick, colorbond materials and stone features. The pre-approved colours should be used as a basis for what is considered acceptable – alternative colour schemes can be proposed and will be assessed on a site by site basis. All colour schemes must be provided with the plans submitted for approval.

5. Roof Form

Dwellings must have the appearance of a well resolved and cohesive roof form. Eaves of not less than 450mm must be provided to at least 75% of the dwellings perimeter.

Pitched rooves and skillions are acceptable design solutions. Pitched rooves must achieve a minimum pitch of 20 degrees.

Acceptable roof materials include corrugated sheeting and tiles that have non-reflective surfaces.

6. Outdoor Utility Areas & Storage

Utilities such as wheelie bins, clotheslines and air-conditioning units must not be directly visible from public viewpoints.

Caravans, boats, trailers or other vehicles must be stored behind the front building line of the dwelling.



PART 3 – Landscaping

7. Soft Landscaping

Landscaping is an important part of maintaining the aesthetic of the estate and protecting its quality and live-ability. All landscaping forward of the building line (including the Council owned portion of the verge) must be completed prior to the occupation of the dwelling. All landscaping must be maintained, established and kept in good order until the house is occupied and regular maintenance can occur by the occupant.

At least 30% of the front yard (not including turfed areas) must contain areas of landscaping, including the planting of trees / shrubs that have the ability to reach 2.5m in height as a minimum. Landscaping is to be provided between the driveway edge and the near adjoining boundary. Garden beds must be surrounded by a quality edging product, such as masonry tiles / pavers. Treated pine timber edging will not be approved. Species of trees planted must not include any identified weeds or koala food trees. Shrub should be a minimum of 0.5m in height at the time of planting.

8. Fencing

Fencing has the ability to create a dominating and overbearing presence to the streetscape, whereas well designed fencing can enhance the quality of the house and neighbourhood.

All fencing must be provided in accordance with Ipswich City Council requirements, if applicable, and the Plan of Development Requirements at Appendix A.

Fencing forward of the house is generally not appropriate, unless in limited circumstances where it has been incorporated as part of a useable open space area that positively contributes to the streetscape. This will be reviewed on a specific site by site basis.

Fencing to secondary street frontages is a maximum of 1.8m high and is constructed of quality materials that complement the building design. The fencing should be integrated with soft landscaping elements where possible and should terminate a minimum of 3m behind the front wall of the home. Timber fencing to secondary street frontages must be 'lapped and capped' and painted in a neutral colour. Pool fencing to secondary street frontages is not allowed under any circumstances.

Untreated timber paling fencing, sheeting, or Colorbond panels are not considered appropriate for any areas that can be viewed directly from public vantage points.

All timber fencing is free of gaps: i.e. either lapped or butted together. All timber fencing viewable from a public vantage point must be painted in a neutral colour.

9. Retaining Walls

Retaining walls should not be provided forward of the building line unless integrated with soft landscaping elements.

Untreated timber sleepers or bare block work / concrete are not appropriate building materials for retaining walls.

Walls forward of the building line should not exceed 0.6m in height.


10. Driveways

Driveways must be completed prior to the occupation of the home.

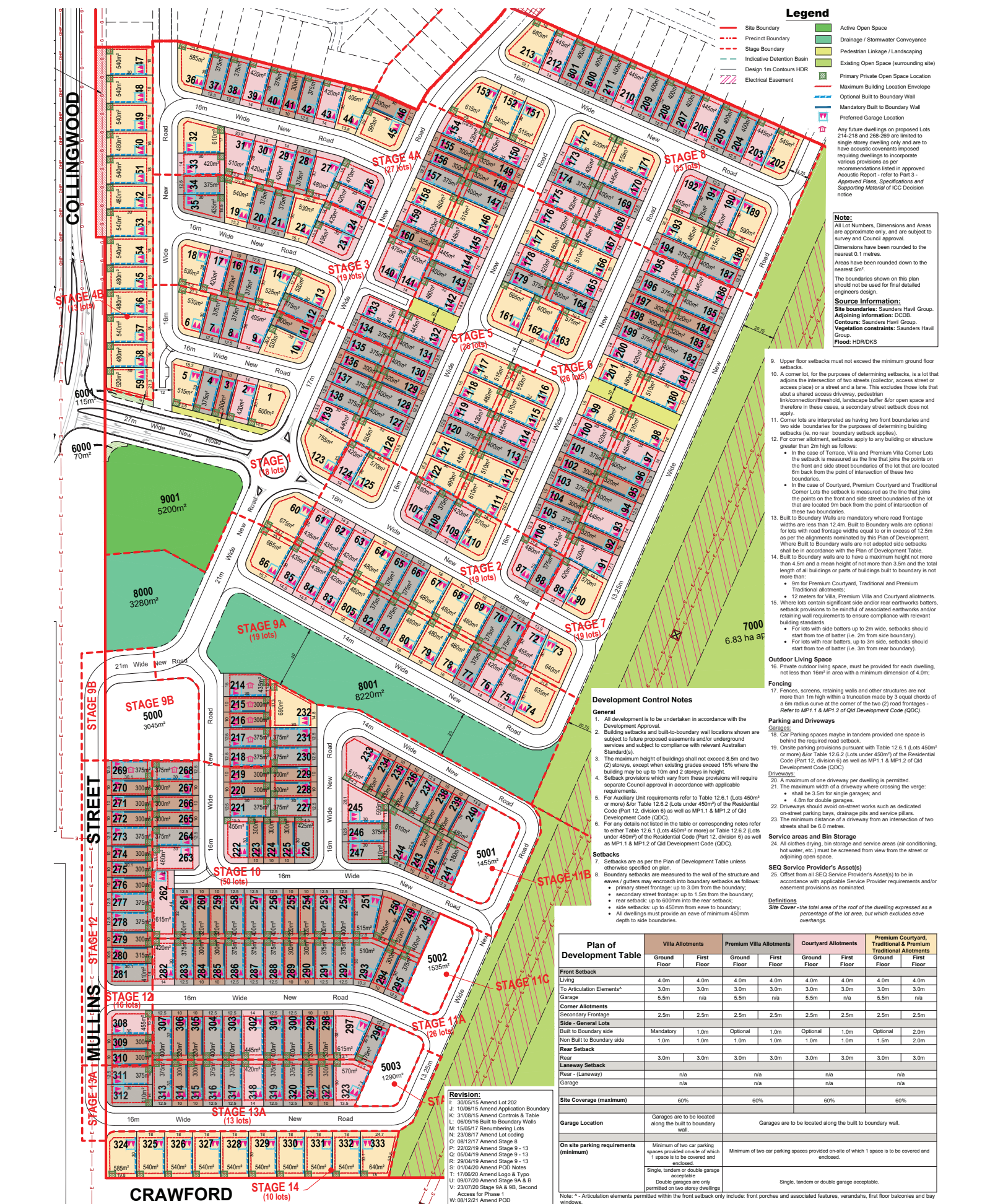
In terms of location, driveways must be provided in accordance with the Plan of Development requirements at **Appendix A**, if applicable.

Width of driveways must not significantly exceed the width of the garage door

Broom finished or plain concrete driveways will not be accepted. Appropriate materials include stone, pavers, exposed aggregate and stenciled finishes or coloured concrete.



Appendix A
Plan of Development



- ### Legend
- Site Boundary
 - Precinct Boundary
 - Stage Boundary
 - Indicative Detention Basin
 - Design 1m Contours HDR
 - Electrical Easement
 - Active Open Space
 - Drainage / Stormwater Conveyance
 - Pedestrian Linkage / Landscaping
 - Existing Open Space (surrounding site)
 - Primary Private Open Space Location
 - Maximum Building Location Envelope
 - Optional Built to Boundary Wall
 - Mandatory Built to Boundary Wall
 - Preferred Garage Location

Note:
 All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
 Site boundaries: Saunders Havi Group.
 Adjoining Information: DCDB.
 Contours: Saunders Havi Group.
 Vegetation constraints: Saunders Havi Group.
 Flood: HRDRICKS

9. Upper floor setbacks must not exceed the minimum ground floor setbacks.
10. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place) or a street and a lane. This excludes those lots that adjoin a shared access driveway, pedestrian link/corridor/threshold, landscape buffer & open space and therefore in these cases, a secondary street setback does not apply.
11. Corner lots are interpreted as having two front boundaries and two side boundaries for the purposes of determining building setbacks (ie no rear boundary setbacks applies).
12. For corner allotment, setbacks apply to any building or structure greater than 2m high as follows:
 - In the case of Terrace, Villa and Premium Villa Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.
 - In the case of Courtyard, Premium Courtyard and Traditional Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.
13. Built to Boundary Walls are mandatory where road frontage widths are less than 12.4m. Built to Boundary walls are optional for lots with road frontage widths equal to or in excess of 12.5m as per the alignments nominated by this Plan of Development. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
14. Built to Boundary walls are to have a maximum height not more than 4.5m and a mean height of not more than 3.5m and the total length of all buildings or parts of buildings built to boundary is not more than:
 - 9m for Premium Courtyard, Traditional and Premium Traditional allotments.
 - 12 meters for Villa, Premium Villa and Courtyard allotments.
15. Where lots contain significant side and/or rear earthworks batter, setback provisions to be mindful of associated earthworks and/or retaining wall requirements to ensure compliance with relevant building standards.
 - For lots with side batters up to 2m wide, setbacks should start from toe of batter (i.e. 2m from side boundary).
 - For lots with rear batters, up to 3m side, setbacks should start from toe of batter (i.e. 3m from rear boundary).

Development Control Notes

- General**
1. All development is to be undertaken in accordance with the Development Approval.
 2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services and subject to compliance with relevant Australian Standards.
 3. The maximum height of buildings shall not exceed 8.5m and two (2) storeys, except when existing grades exceed 15% where the building may be up to 10m and 2 storeys in height.
 4. Setback provisions which vary from these provisions will require separate Council approval in accordance with applicable requirements.
 5. For Auxiliary Unit requirements refer to Table 12.6.1 (Lots 450m² or more) or Table 12.6.2 (Lots under 450m²) of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Qld Development Code (QDC).
 6. For any details not listed in the table or corresponding notes refer to either Table 12.6.1 (Lots 450m² or more) or Table 12.6.2 (Lots under 450m²) of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Qld Development Code (QDC).
- Setbacks**
7. Setbacks are as per the Plan of Development Table unless otherwise specified on plan.
 8. Boundary setbacks are measured to the wall of the structure and eaves / gutters may encroach into boundary setbacks as follows:
 - primary street frontage: up to 3.0m from the boundary;
 - secondary street frontage: up to 1.5m from the boundary;
 - rear setback: up to 600mm into the rear setback;
 - side setbacks: up to 450mm from eave to boundary;
 - All dwellings must provide an eave of minimum 450mm depth to side boundaries.
- Parking and Driveways**
- Garages:**
18. Car Parking spaces may be in tandem provided one space is behind the required road setback.
 19. On-street parking provisions pursuant with Table 12.6.1 (Lots 450m² or more) or Table 12.6.2 (Lots under 450m²) of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Qld Development Code (QDC).
- Driveways:**
20. A maximum of one driveway per dwelling is permitted.
 - The maximum width of a driveway where crossing the verge:
 - shall be 3.5m for single garages; and
 - 4.8m for double garages.
 22. Driveways shall avoid on-street works such as dedicated on-street parking bays, drainage pipes and service pillars.
 23. The minimum distance of a driveway from an intersection of two streets shall be 6.0 metres.
- Service Areas and Bin Storage**
24. All clothes drying, bin storage and service areas (air conditioning, hot water, etc.) must be screened from view from the street or adjoining open space.
- SEQ Service Provider's Asset(s)**
25. Offset from all SEQ Service Provider's Asset(s) to be in accordance with applicable Service Provider requirements and/or easement provisions as nominated.
- Definitions**
- Site Cover:** the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard, Traditional & Premium Traditional Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m
To Articulation Elements*	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Corner Allotments	5.5m	n/a	5.5m	n/a	5.5m	n/a	5.5m	n/a
Secondary Frontage	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m
Side - General Lots	Mandatory	1.0m	Optional	1.0m	Optional	1.0m	Optional	2.0m
Built to Boundary side	Mandatory	1.0m	Optional	1.0m	Optional	1.0m	Optional	2.0m
Non Built to Boundary side	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	2.0m
Rear Setback	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear - (Laneway)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Garage	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Coverage (maximum)	60%		60%		60%		60%	
Garage Location	Garages are to be located along the built to boundary wall.				Garages are to be located along the built to boundary wall.			
On site parking requirements (minimum)	Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.				Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.			
Notes	Single, tandem or double garage acceptable. Double garages are only permitted on two storey dwellings				Single, tandem or double garage acceptable.			

Revision:
 1. 30/05/15 Amend Lot 202
 J. 10/06/15 Amend Application Boundary
 K. 31/08/15 Amend Controls & Table
 L. 06/09/16 Built to Boundary Walls
 M. 15/08/17 Renumbering Lots
 N. 23/08/17 Amend Lot coding
 O. 08/12/17 Amend Stage 8
 P. 22/02/19 Amend Stage 9 - 13
 Q. 05/04/19 Amend Stage 9 - 13
 R. 29/04/19 Amend Stage 9 - 13
 S. 01/04/20 Amend POD Notes
 T. 17/05/20 Amend Look & Type
 U. 09/07/20 Amend Stage 9A & B
 V. 23/07/20 Stage 9A & 9B, Second Access for Phase 1
 W. 08/12/21 Amend POD
 X. 17/01/22 Update Stage 10 - 12

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for Approval No. 4280/2015/MAAM/CE Date: 23 March 2022

Development Control Notes

- General**
- All development is to be undertaken in accordance with the Development Approval.
 - Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services and subject to compliance with relevant Australian Standards.
 - The maximum height of buildings shall not exceed 8.5m and two (2) storeys, except when existing grades exceed 15% where the building may be up to 10m and 2 storeys in height.
 - Setback provisions which vary from these provisions will require separate Council approval in accordance with applicable requirements.
 - For Auxiliary Unit requirements refer to Table 12.6.1 (Lots 450m² or more) & Table 12.6.2 (Lots under 450m²) of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Qld Development Code (QDC).
 - For any details not listed in the table or corresponding notes refer to either Table 12.6.1 (Lots 450m² or more) or Table 12.6.2 (Lots under 450m²) of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Qld Development Code (QDC).
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise specified on plan.
 - Setbacks must be measured to the wall of the structure and eaves / gutters may encroach into boundary setbacks as follows:
 - primary street frontage: up to 3.0m from the boundary;
 - secondary street frontage: up to 1.5m from the boundary;
 - rear setback: up to 600mm into the rear setback;
 - side setbacks: up to 450mm from eave to boundary;
 - All dwellings must provide an exceed minimum 450mm depth to side boundaries.
 - Upper floor setbacks must not have the minimum ground floor setbacks.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place) or a street and a lane. This excludes those lots that adjoin a shared access driveway, pedestrian link/connection/throughway, landscape buffer or open space and therefore in these cases, a secondary street setback does not apply.
 - Corner lots are interpreted as having two front boundaries and two side boundaries for the purposes of determining built-to-boundary setbacks.
 - For corner allotment, setbacks apply to any building or structure greater than 2m high as follows:
 - In the case of Terrace, Villa and Premium Villa Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Courtyard, Premium Courtyard and Traditional Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
 - Built to Boundary Walls are mandatory where road frontage widths are less than 12.4m. Built to Boundary walls are optional for lots with road frontage widths equal to or in excess of 12.5m as per the alignments nominated by this Plan of Development. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Built to Boundary walls are to have a maximum height not more than 4.5m and a mean height of not more than 3.5m and the total length of all buildings or parts of buildings built to boundary is not more than:
 - 9m for Premium Courtyard, Traditional and Premium Traditional allotments;
 - 12 meters for Villa, Premium Villa and Courtyard allotments.
 - Where lots contain significant side and/or rear earthworks batters, setback provisions to be mindful of associated earthworks and/or retaining wall requirements to ensure compliance with relevant building standards.
 - For lots with side batters up to 2m wide, setbacks should start from toe of batter (i.e. 2m from side boundary);
 - For lots with rear batters, up to 3m side, setbacks should start from toe of batter (i.e. 3m from rear boundary).
- Outdoor Living Space**
- Private outdoor living space must be provided for each dwelling, not less than 10m² in area with a minimum dimension of 4.0m.
- Fencing**
- Fences, screens, retaining walls and other structures are not more than 1m high with a truncation made by 3 equal chords of a 6m radius curve at the corner of the two (2) road frontages - Refer to MP1.1 & MP1.2 of Qld Development Code (QDC).
- Parking and Driveways**
- Garages:**
- Car parking spaces may be in tandem provided one space is behind the required road setback.
 - On-street parking provisions pursuant with Table 12.6.1 (Lots 450m² or more) & Table 12.6.2 (Lots under 450m²) of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Qld Development Code (QDC)
- Driveways:**
- A maximum of one driveway per dwelling is permitted.
 - The maximum width of a driveway where crossing the verge:
 - shall be 3.5m for single garages; and
 - 4.8m for double garages.
 - Driveways should avoid on-street works such as intersected on-street parking bays, drainage pits and service pillars.
 - The minimum distance of a driveway from an intersection of two streets shall be 6.0 metres.
- Service areas and Bin Storage**
- All clothes drying, bin storage and service areas (air conditioning, hot water, etc.) must be screened from view from the street or adjoining open space.
- SEO Service Provider's Assets**
- Offset from all SEO Service Provider's Assets (s) to be in accordance with applicable Service Provider requirements and/or easement provisions as nominated.
- Definitions**
- Site Cover** - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

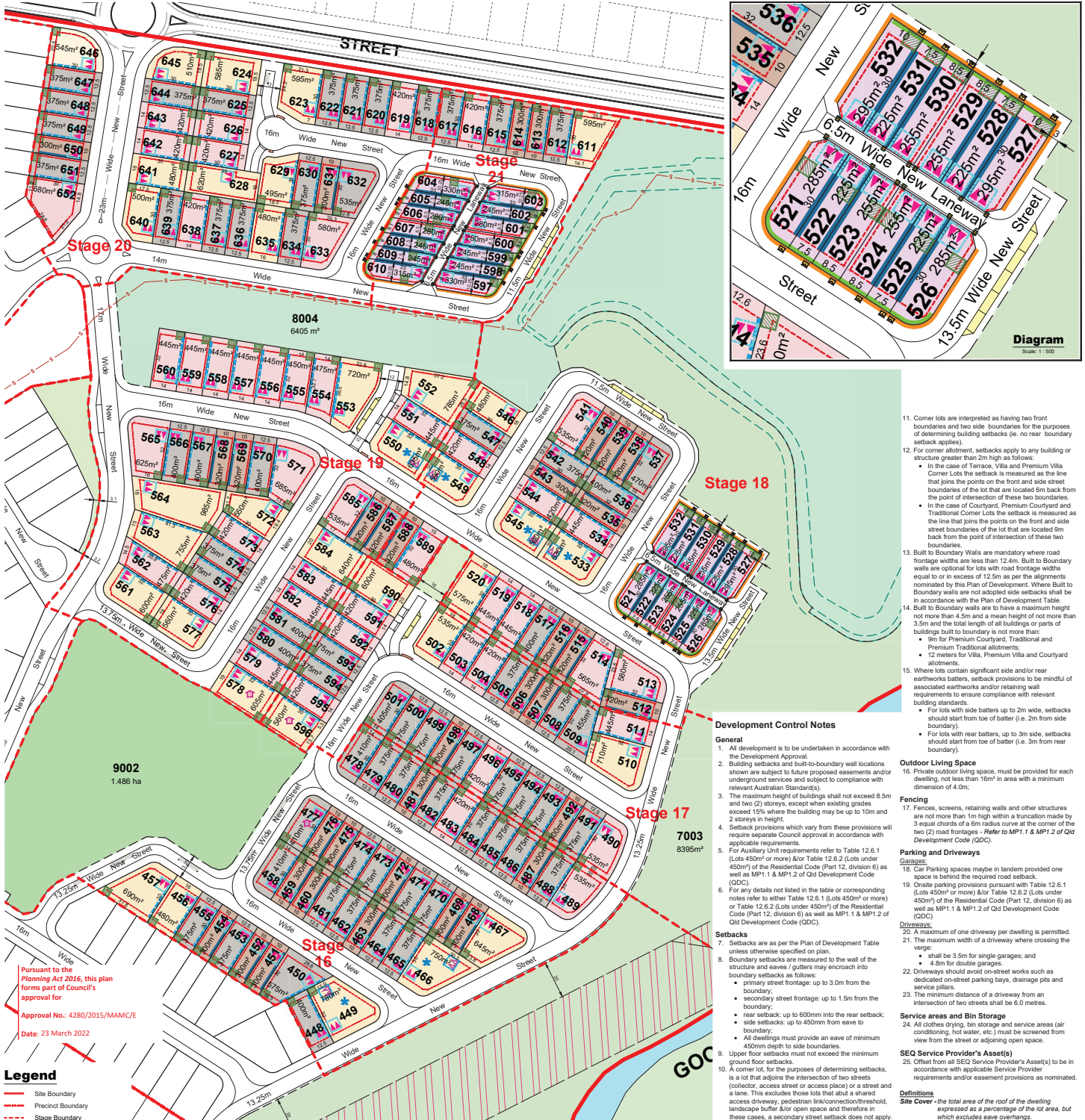


Plan of Development Table	Laneway Terrace Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard, Traditional & Premium Traditional Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback										
Living	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m
To Articulation Elements*	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	n/a	n/a	5.5m	n/a	5.5m	n/a	5.5m	n/a	5.5m	n/a
Corner Allotments										
Secondary Frontage	1.5m	1.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m
Side - General Lots										
Built to Boundary side	Mandatory	1.0m	Mandatory	1.0m	Optional	1.0m	Optional	1.0m	Optional	2.0m
Non Built to Boundary side	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	2.0m
Rear Setback										
Rear	n/a	n/a	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Laneway Setback										
Rear - (Laneway)	0.5m	0.5m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Garage	0.5m	0.5m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Coverage (maximum)	80%		60%		60%		60%		60%	
Garage Location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.	
On site parking requirements (minimum)	Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.		Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.		Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.		Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.		Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.	
	Single, tandem or double garage acceptable		Single, tandem or double garage acceptable		Single, tandem or double garage acceptable		Single, tandem or double garage acceptable		Single, tandem or double garage acceptable	

Note: * - Articulation elements permitted within the front setback only include: front porches and associated features, verandahs, first floor balconies and bay windows.

Legend

- Site Boundary
- Precinct Boundary
- Stage Boundary
- Indicative Detention Basin
- Design 1m Contours HDR
- Electrical Easement
- Indented On Street Parking Bay
- Line Marked On Street Parking Bay
- Existing Open Space (Pre-Approved Application)
- Existing Open Space (Adjoining site)
- Local Park
- Drainage / Linear open Space
- Pedestrian Linkage / Landscape Buffer
- City Wide Linear Park
- Proposed Drainage Easement
- Bin Pad
- Possible Dual Occupancy (Dual occupancy is subject to a further MCU Approval)
- Primary Private Open Space Location
- Maximum Building Location Envelope
- Optional Built to Boundary Wall
- Preferred Garage Location
- Alternative Garage Location
- Any future dwellings on proposed Lots 713-728 are limited to single storey dwellings only and acoustic coverants are to be imposed to this effect.



Pursuant to the Planning Act 2016, this plan forms part of Council's approval for
 Approval No: 4280/2015/MAMC/E
 Date: 23 March 2022

Legend

- Site Boundary
- Precinct Boundary
- Stage Boundary
- Indicative Detention Basin
- Design 1m Contours HDR
- Electrical Easement
- Indented On Street Parking Bay
- Line Marked On Street Parking Bay
- Bin Pad
- Possible Dual Occupancy (Dual occupancy is subject to a further MCU Approval)
- Existing Open Space (Adjoining site)
- Existing Creek (Adjoining site)
- Local Park
- Drainage / Linear open Space
- Pedestrian Linkage / Landscape Buffer
- City Wide Linear Park
- Primary Private Open Space Location
- Maximum Building Location Envelope
- Optional Built to Boundary Wall
- Preferred Garage Location
- Alternative Garage Location
- No Vehicle Access
- Primary Frontage
- Letterbox Location
- Bin Collection Location
- Any future dwellings on proposed Lots 578 and 596 are limited to single storey dwelling only and are to have acoustic coverings imposed requiring dwellings to incorporate various provisions as per recommendations listed in approved Acoustic Report - refer to Part 3 - Approved Plans, Specifications and Supporting Material of ICC Decision notice

Development Control Notes

General

1. All development is to be undertaken in accordance with the Development Approval.
2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed assessments and/or underground services and subject to compliance with relevant Australian Standard(s).
3. The maximum height of buildings shall not exceed 5.5m and two (2) storeys, except when existing grades exceed 15% where the building may be up to 10m and 2 storeys in height.
4. Setback provisions which vary from these provisions will require separate Council approval in accordance with applicable requirements.
5. For Auxiliary Unit requirements refer to Table 12.6.1 (Lots 450m² or more) &/or Table 12.6.2 (Lots under 450m² of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Old Development Code (ODC).
6. For any details not listed in the table or corresponding notes refer to Table 12.6.1 (Lots 450m² or more) or Table 12.6.2 (Lots under 450m² of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Old Development Code (ODC).

Setbacks

7. Setbacks are as per the Plan of Development Table unless otherwise specified on plan.
8. Boundary setbacks are measured to the wall of the structure and eaves / gutters may encroach into boundary setbacks as follows:
 - primary street frontage: up to 3.0m from the boundary
 - secondary street frontage: up to 1.5m from the boundary
 - rear setback: up to 600mm into the rear setback
 - side setbacks: up to 450mm from eave to boundary
 - All dwellings must provide an eave of minimum 450mm depth to side boundaries.
9. Upper floor setbacks must not exceed the minimum ground floor setbacks.
10. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place) or a street and a lane. This excludes those lots that abut a shared access driveway, pedestrian link/connection/threshold, landscape buffer &/or open space and therefore in these cases, a secondary street setback does not apply.

11. Corner lots are interpreted as having two front boundaries and two side boundaries for the purposes of determining building setbacks (ie, no rear boundary setback applies).
12. For corner allotments, setbacks apply to any building or structure greater than 2m high as follows:
 - In the case of Terrace, Villa and Premium Villa Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.
 - In the case of Courtyard, Premium Courtyard and Traditional Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.
13. Built to Boundary Walls are mandatory where road frontage widths are less than 12.4m. Built to Boundary Walls are optional for lots with road frontage widths equal to or in excess of 12.5m as per the alignments nominated by this Plan of Development. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
14. Built to Boundary walls are to have a maximum height not more than 4.5m and a mean height of not more than 3.5m and the total length of all buildings or parts of buildings built to boundary is not more than:
 - 5m for Premium Courtyard, Traditional and Premium Traditional allotments;
 - 12 meters for Villa, Premium Villa and Courtyard allotments.
15. Where lots contain significant side and/or rear earthworks batters, setback provisions to be mindful of associated earthworks and/or retaining wall requirements to ensure compliance with relevant building standards.
 - For lots with side batters up to 2m wide, setbacks should start from toe of batter (i.e. 2m from side boundary).
 - For lots with rear batters, up to 3m side, setbacks should start from toe of batter (i.e. 3m from rear boundary).

Outdoor Living Space

16. Private outdoor living space must be provided for each dwelling, not less than 16m² in area with a minimum dimension of 4.0m;

Fencing

17. Fences, screens, retaining walls and other structures are not more than 1m high within a truncation made by 3 equal chords of a 6m radius curve at the corner of the two (2) road frontages - Refer to MP1.1 & MP1.2 of Old Development Code (ODC).

Parking and Driveways

18. Car Parking spaces may be in tandem provided one space is behind the required rear setback.
19. Onsite parking provisions pursuant to Table 12.6.1 (Lots 450m² or more) &/or Table 12.6.2 (Lots under 450m² of the Residential Code (Part 12, division 6) as well as MP1.1 & MP1.2 of Old Development Code (ODC)).
20. A maximum of one driveway per dwelling is permitted.
21. The maximum width of a driveway where crossing the verge:
 - shall be 3.5m for single garages; and
 - 4.5m for double garages.
22. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pits.
23. The minimum distance of a driveway from an intersection of two streets shall be 6.0 metres.
24. All clothes drying, bin storage and service areas (air conditioning, hot water, etc.) must be screened from view from the street or adjoining open space.

SEO Service Provider's Asset(s)

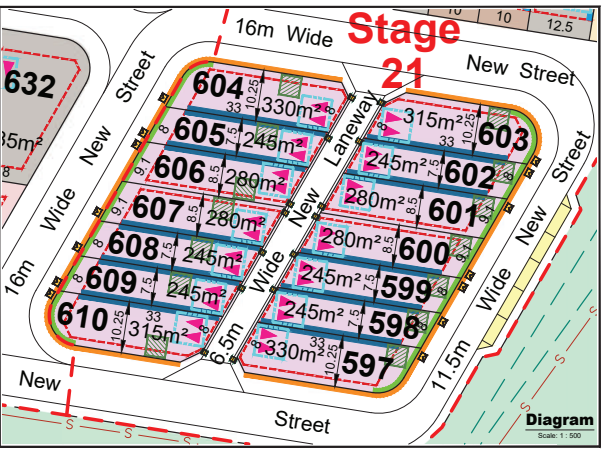
25. Offset from all SEO Service Provider's Asset(s) to be in accordance with applicable Service Provider requirements and/or easement provisions as nominated.

Definitions

Site Cover - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes save overhangs.

Plan of Development Table	Laneway Terrace Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard, Traditional & Premium Traditional Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback										
Living	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m
To Articulation Elements*	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Corner	n/a	n/a	5.5m	n/a	5.5m	n/a	5.5m	n/a	5.5m	n/a
Garage Allotments										
Secondary Frontage	1.5m	1.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m
Side - General Lots										
Built to Boundary side	Mandatory	1.0m	Mandatory	1.0m	Optional	1.0m	Optional	1.0m	Optional	2.0m
Non Built to Boundary side	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	2.0m
Rear Setback										
Rear	n/a	n/a	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Laneway Setback										
Rear - (Laneway)	0.5m	0.5m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Garage	0.5m	0.5m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Coverage (maximum)	80%		60%		60%		60%		60%	
Garage Location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.					
On site parking requirements (minimum)	Minimum of two car parking spaces provided on-site of which 3 space is to be covered and enclosed.		Minimum of two car parking spaces provided on-site of which 3 space is to be covered and enclosed.		Minimum of two car parking spaces provided on-site of which 1 space is to be covered and enclosed.					
	Single, tandem or double garage acceptable		Single, tandem or double garage acceptable Double garages are only permitted on two storey dwellings		Single, tandem or double garage acceptable.					

Note: * - Articulation elements permitted within the front setback only include: front porches and associated features, verandahs, first floor balconies and bay windows.



Appendix B
**Woodlinks Material and
Colour Palettes**



Material and colour palettes

Roofs – approved colours palette

Roof colours from alternative suppliers are also allowed, however a colour photograph or sample must be provided with the application review. Colorbond colours listed below are also to be used when selecting the Fascia/ gutters / downpipes & meter box colours.

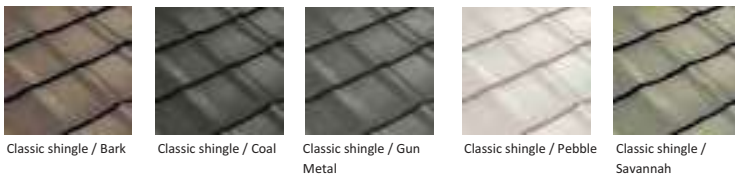
Colorbond colours



Colours sourced from Colorbond Steel <http://colorbond.com/colour>

Colours shown are indicative only; please refer to manufacture’s product samples prior to selecting your colours for an accurate colour representation.

Roof tile colours



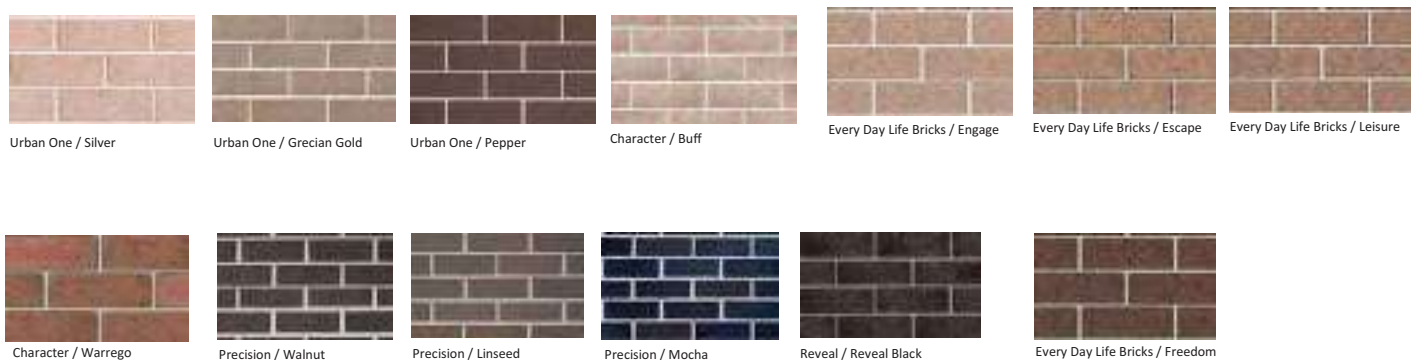
Colours sourced from Bristile Roofing <http://bristilerooting.com/qld/products/concrete-roof-tiles/classic-shingle> Colours shown are indicative only; please refer to manufacture’s product samples prior to selecting your colours for an accurate colour representation.

Material and colour palettes

Bricks – approved colours palette

Bricks from alternative suppliers are also allowed, however a colour photograph or sample must be provided with the application review.

Face brick colours



Bricks sourced from Austral Bricks <http://australbricks.com.au/qld>

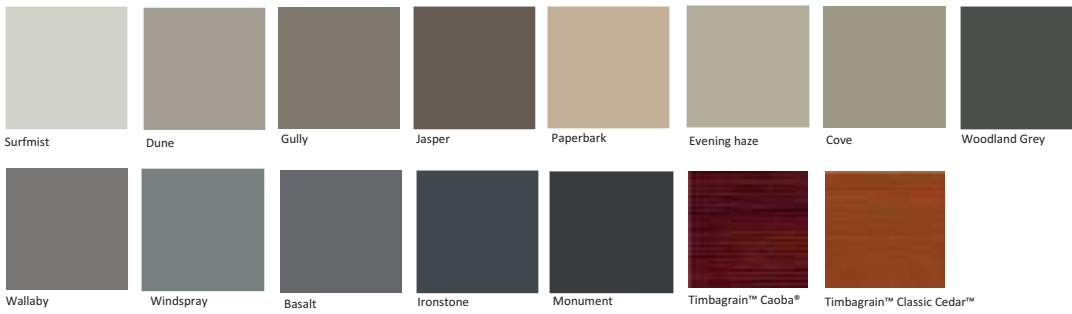
Colours shown are indicative only; please refer to manufacture’s product samples prior to selecting your colours for an accurate colour representation.

Material and colour palettes

Garage Doors – approved colours palette

Garage Door colours from alternative suppliers are also allowed, however a colour photograph or sample must be provided with the application review.

Garage Door colours



Colours sourced from B&D Doors <http://www.bnd.com.au>

Colours shown are indicative only; please refer to manufacture’s product samples prior to selecting your colours for an accurate colour representation.

Paint colours palette

The following colours and materials are intended to be representative of the palette for Woodlinks. These reflect the natural context of the estate. Your colour and material choices can be discussed with the seller, and are to be approved prior to submitting a development application. Note that some of the examples may be replaced or become discontinued, but the samples provide a guide to what is expected, and other choices that are similar can be used.

DULUX & COLORBOND colours



NB Colours shown are approximate only. Printing and scanning limit accuracy. Refer to manufacturers samples.

Colour to be used as accent only (i.e. limited to small areas)



Stone colours palette

Natural stone is a defining feature of the Woodlinks landscape and its incorporation into housing and landscaping elements is encouraged. Use either natural stone, stone cladding or selected masonry blocks in the grey /earth/brown range. Thin strips of stack stone cladding which look artificial and weather poorly should be avoided.

Cultured Stone cladding collection from BORAL



Driveways – approved colours palette

Appropriate materials may include exposed aggregate concrete, stamped and stenciled concrete and coloured concrete.

Colours from alternative suppliers are also allowed, however a colour photograph or sample must be provided with the application review.



Colours sourced from Parchem Construction Supplies www.parchem.com.au

Colours shown are indicative only; please refer to manufacture's product samples prior to selecting your colours for an accurate colour representation.



Appendix C
Home Design Tips

Home Design Tips



Smart Housing is good practice in designing, planning and building homes to make them more environmentally, socially and economically sustainable. This fact sheet highlights some of the most important things you can do to improve the sustainability of your home. That is, ensure that your home will meet your needs as they inevitably change throughout your life, as well as make it more liveable, safe, secure, cost-efficient and environmentally friendly.

Top ten tips

1. Reduce water use
2. Natural heating and cooling
3. Efficient water heating
4. Future proof
5. Safe floors
6. Address the street
7. Casual surveillance
8. Long term maintenance
9. Indoor air quality
10. Outdoor living

1. Reduce water use

Households can significantly reduce their water consumption and their water bills by using:

- water efficient appliances and fittings with a higher Water Efficiency Labelling and Standards (WELS) rating
- landscaping that requires little water and
- a water tank for collecting roof water for use on the garden and for flushing toilets (check Council requirements).



2. Natural heating and cooling

Passive solar design makes use of climatic conditions such as the sun and wind to increase the comfort of the occupants by naturally heating the home in winter and cooling it in summer.

This reduces the need to install artificial heating and cooling systems which increase electricity bills and produce greenhouse gas emissions.

The following design characteristics should be considered to make best use of the benefits of passive design:

- orientation for breezes and solar access
- thermal mass versus lightweight construction
- cross-ventilation
- insulation to roof, ceiling and walls
- wide eaves to shade external walls and
- window shading, especially on the eastern and western sides.

Discuss with your builder or designer how the principles of passive design best apply to the site and location of your home.

3. Efficient water heating

The Department of Energy, reports that up to 40% of domestic energy utilised in Queensland is for water heating. Installing an energy efficient hot water system and locating it in close proximity to the hot water outlets could save up to 80% on water heating bills and subsequently reduce greenhouse gas emissions.

Energy efficient hot water systems include:

- hot water systems that are eligible for at least 24 Renewable Energy Certificates (solar-gas, solar-electric, or heat pump) and gas water heaters with a minimum of five stars on the Australian Gas Association (AGA) Energy Rating Label.



Sustainable Homes demonstrating Smart Housing principles



FACT SHEET: Top ten tips

4. Long-term maintenance

Careful selection of materials and consideration of the design of a house can reduce the repair and ongoing maintenance costs. It can also delay or reduce the eventual cost of replacing materials.

Consider:

- ▶ the maintenance requirements and life expectancy of selected building materials, fittings and appliances
- ▶ the design of the home to allow easy and safe access to items that require regular maintenance or inspection
- ▶ the use of low maintenance materials in areas which are difficult to access
- ▶ materials that can be easily cleaned.

5. Future proof

A house will be more adaptable to accommodate a family's changing needs if the kitchen, living room, bathroom, toilet, and at least one bedroom (or a room suitable to be converted to a bedroom) can be reached along an 'accessible path' from the front boundary or car parking area.

The key elements of an 'accessible path' include level thresholds (maximum 10mm change in level) and a minimum width of 1200mm, except through doorways with a recommended minimum clearance of 850mm. (Refer to the *Accessible paths, Kitchens and Bathrooms* fact sheets for more information).

Have one room in the home built in accordance with the *Australian Standard 1428.2*, or that has enough space for a bed (1500mm X 2000mm), with 1200mm clearance on two sides and 850mm clearance on the third side. It could be used as an office, media room or living room that can be easily converted to a bedroom as required.

6. Safe Floors

People should be able to move safely and with confidence throughout the house. Wherever possible, reduce the risk of falls by designing floors to be slip resistant and level with a continuous and even surface (maximum of 10mm step).

Showers built with a level, step-free threshold (known as hobless showers) are a safer option because they minimise the risk of tripping. Shower thresholds should be level or have a maximum step of 10mm.

For further information:

www.smarthousing.qld.gov.au
www.sustainable-homes.org.au

Smart and Sustainable Homes
 Technology and Development Division
 Department of Public Works

GPO Box 2412
 Brisbane Queensland 4000

7. Address the street

The way in which the house and landscaping address the street should clearly define the separation between public, semi-public and private spaces. It is recommended the house has:

- ▶ a prominent, easy-to-read house number to assist visitors and emergency services to locate the house
- ▶ a well-defined and separate driveway and pedestrian entry that are clearly visible from the street or from neighbouring properties
- ▶ good external lighting for security and surveillance purposes
- ▶ a step-free entrance that makes access easy for everyone. (e.g. parents with a pram, older people or a furniture removalist)

8. Casual surveillance

Planning ahead for safety and security can reduce the risk of injury to people in the home, encourage social interaction with neighbours and can also reduce property related crime.

Design your home and garden to:

- ▶ provide easy surveillance of play areas from the kitchen or main living areas and
- ▶ allow surveillance of the street and adjacent public.

9. Indoor air quality

Ensure good indoor air quality by avoiding materials that contain volatile organic compounds that can cause irritation and allergies (e.g. if laying carpet ensure the adhesives are non-toxic and that the carpet is aired before being laid.) For further information, refer to the Commonwealth Department of Health and Ageing's *Healthy Homes* booklet.

10. Outdoor living

Outdoor living areas allow occupants of the home to take advantage of the Queensland climate.

It is recommended that outdoor entertainment and play areas are covered or have effective sun-shade structures and have a good relationship to the indoor living space.

The driveway should be separated from play areas to reduce the chance of incidents involving children and cars on the driveway. Consider a barrier such as a fence or raised garden bed to achieve this.



WOODLINKS VILLAGE
Collingwood Drive, Collingwood Park
QLD 4301

(Turn off Collingwood Drive opposite WoodLinks State School)
woodlinksvillage.com.au

Contact 1800 316 348 for more information.



Established in 1988, The Village Building Company is one of Australia's most experienced developers – having delivered more than 40 projects across the Australian Capital Territory, Queensland, New South Wales and Victoria.

We place great emphasis on the environments we create and don't just focus on the 'bricks and mortar'. We develop lively, sustainable and attractive communities not only for today, but also for the enjoyment of future generations.

